

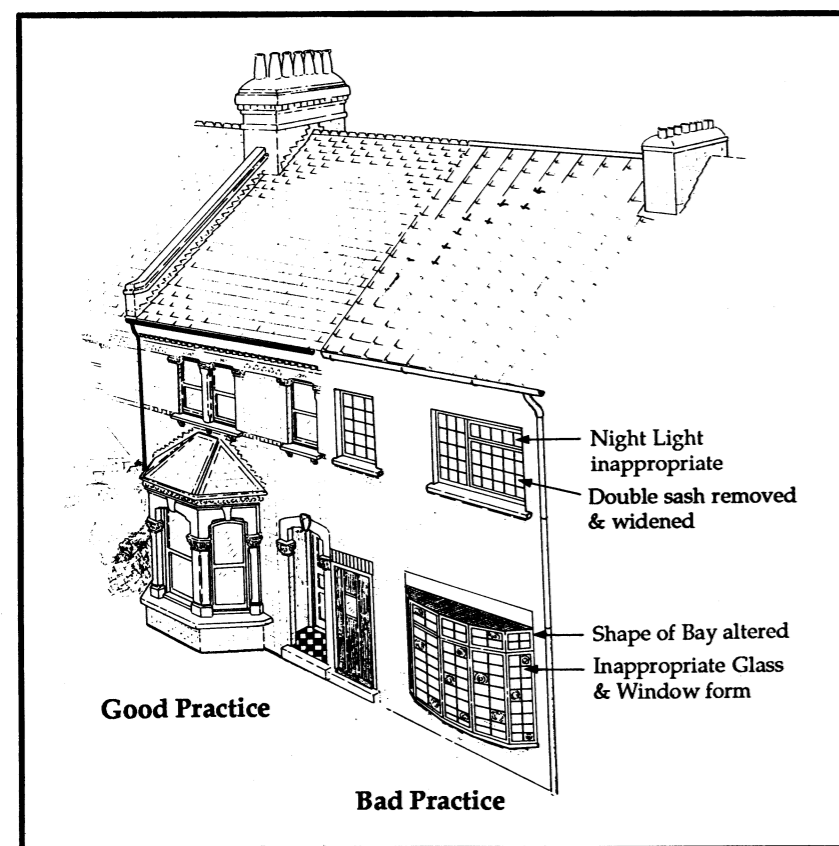
When repainting Georgian windows, white is usually the best choice of colour and care must be taken not to overpaint the glazing bars or smear paint onto the glass.

With double hung sashes regular maintenance of sash cords, weights and boxes will prevent sticking and mechanical damage. There are several contractors who still offer a traditional sash repair and overhauling service.

REPLACEMENT WINDOWS

When it has been decided that as a last resort a window must be replaced, the advice in D. o E. Circular 8/87 should be remembered. It states: "Fenestration should always be of appropriate design and respect the existing openings... The tendency to use non traditional fenestration in elevations of value should be resisted...".

Any proposal to alter a window in a listed building requires Listed Building Consent. The insertion of inappropriate windows can result not only in aesthetic offence but also in prosecution.



Replacement windows should be in the same size of opening to reduce alteration to historic fabric and proportions of the old window should be used as a guide. Any architectural features associated with the old window such as brick dressings or aprons must be retained.

Blinds and shutters of considerable age should be retained where surviving but the addition of new blinds or shutters is often inappropriate. Old glazing patterns should be respected and the introduction of obscure glass and bottle glass is to be avoided. The finish of any replacement window must respect the other windows in the building both in terms of design, materials and finish.

Replacement windows from catalogues: standard catalogue joinery is generally unsuitable for historic buildings. Modern technology has frequently led to a loss of intricacy and craftsmanship and quite often produces utilitarian design. Many products have borrowed from traditional window types and claim to be accurate representations of earlier designs. On close inspection the vast majority of these bear little resemblance to the original, either in form or construction and are not suitable for historic buildings. The loss of profiles of glazing bars, the flush fit and the meaner proportions all destroy the pleasing effect associated with original or traditional window types. However, it is still possible to find manufacturers who can produce acceptable modern replacement windows and further information can be obtained from your Local Planning Authority.

INSERTING ADDITIONAL WINDOWS

By modern standards some older buildings may be considered poorly lit. However, rather than enlarge existing openings, possibly spoiling symmetry or a balanced design, additional windows may be preferable.

If further windows are essential these will only be allowed in less prominent elevations and should reflect the original windows. They will require Listed Building Consent.

Dormers: the aim of using dormers should be to provide low key extra lighting, subordinate to the facade. Where there are existing dormers, consent will not normally be given for their enlargement, especially if they are of the more decorative pedimented type. New dormers may be considered on subordinate elevations provided there is minimal loss of historic fabric, the number is kept to a minimum and the size and scale of the new work respects the rest of the facade. A Listed Building Consent will be necessary.

Rooflights: these can be an alternative but they are often too prominent in the plane of the roof. The use of a rooflight which lies on the plane of a roof and glazes between the rafters will be favoured over a "velux-type" which stands proud of the roof and presents an undivided opening. A Listed Building Consent will be required.

Windows in extensions: as all extensions to listed buildings have to be subordinate to the existing building and pay due respect to its character, windows in the extension will also have to conform to these rules. Traditional forms and construction will be expected, consistent within the extension and paying due regard to the older building.

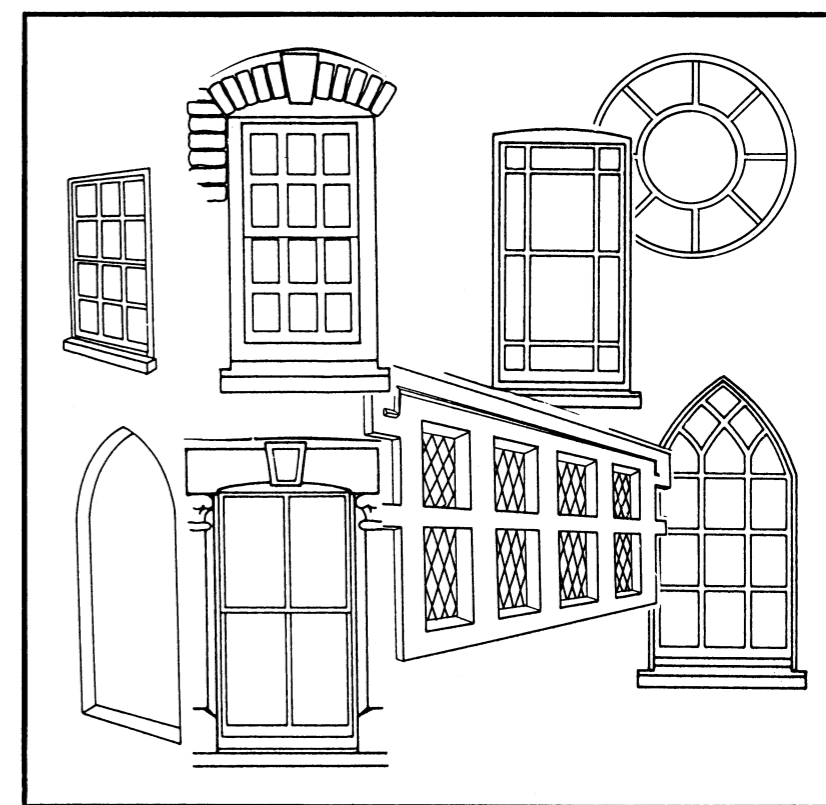
FURTHER ADVICE

Before you obtain estimates for the repair of your windows contact your Local Planning Authority who should be able to draw your attention to any special requirements necessary for instructing your contractor. They can also provide information about the Historic Building Grants available and give details of the other leaflets in this series.



Advisory Leaflet 4

WINDOWS IN HISTORIC BUILDINGS



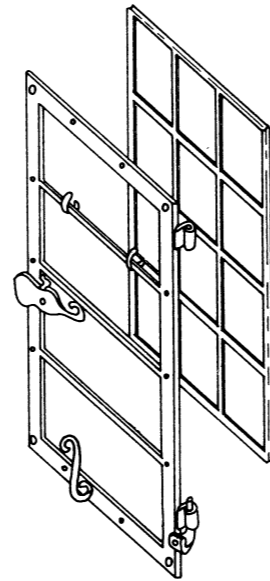
Windows are a vital component of an historic building's character. There are many types of windows surviving, ranging from the mullioned and transomed openings in medieval buildings, through the sash windows of the eighteenth and nineteenth centuries to the patented window types of the twentieth century. In all cases windows are an important element in the articulation of an elevation and alterations to them can radically affect the character of an historic building. This is even more relevant when dealing with the modest terraced houses and country cottages of the Georgian period where the main interest of a facade may be the sash window and its proportion and detailing.

This leaflet is aimed at owners thinking of repairing or replacing their windows. The insistence on natural materials and correct detailing represents the best way of maintaining the integrity of an historic building.

This leaflet is also one of a series prepared jointly by Surrey County Council and the eleven District Councils to provide advice, without prejudice, to the owners of and those working with, historic buildings.

SIMPLE RULES OF THUMB FOR WINDOW REPLACEMENT / REPAIR

- 1 Ensure that you employ a competent joiner preferably one who has experience of historic buildings. For more elaborate sash windows and rare older surviving windows a specialist joiner is essential.
- 2 Always look to repair rather than replace.
- 3 Always employ matching materials which will usually be natural e.g. softwood, wrought and cast iron and glass.
- 4 The use of UPVC or any other modern inappropriate material is not acceptable on historic buildings.
- 5 Always reproduce existing profiles and architectural detailing when repairing or replacing.



Wrought Iron & Cast Iron leaded Casements

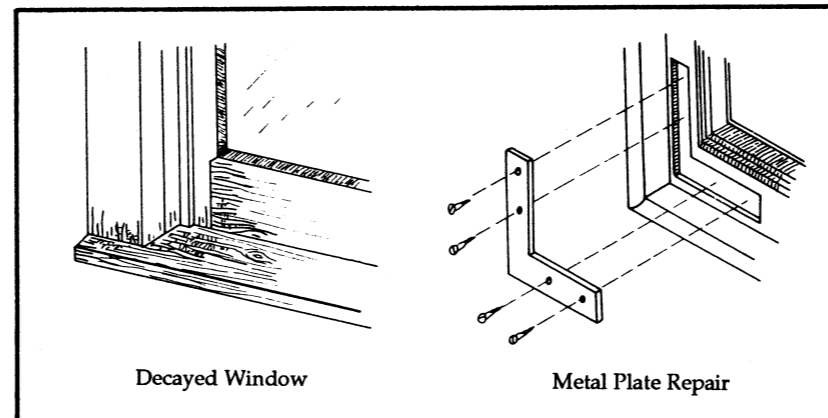
REPLACEMENT OR REPAIR ?

The choice of whether to replace or repair a window in an historic building will be influenced by the need to retain as much historic fabric as possible.

Windows reflect the origins and development of buildings and should therefore be retained, especially if the window type is very decorative. It is important to remember that the failure of one part of a timber sash or casement does not necessitate the replacement of the whole window. There will be few instances where old windows are so decayed as to be beyond repair.

Minor problems such as draughts, rattling and sticking are generally easily overcome without recourse to replacement. A general overhaul may be all that is required.

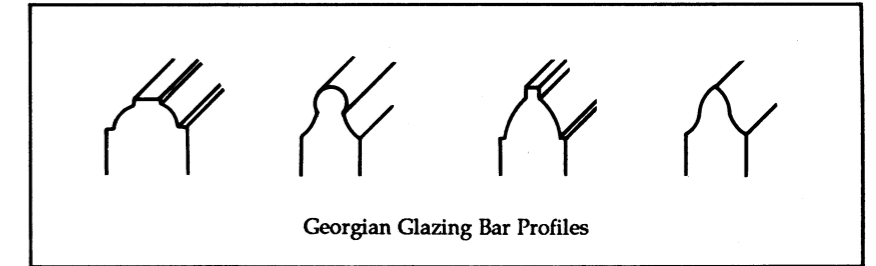
Decay : in most cases decay will only attack one part of the window and repair of the affected member can usually be carried out easily and cheaply with the right tools. New sections of wood can be pieced in and the lifespan can be prolonged by using fungicidal plugs in pre-drilled holes. With small areas of rot there are resin compounds available that can be used rather than piecing in new wood.



Materials : it is desirable to use materials that match the originals, either new or second hand and to use traditional construction techniques. It is therefore important to establish the materials used in the original window. With sash windows requiring replacement glazing bars or new sash cords, a suitably experienced joiner will have to be employed.

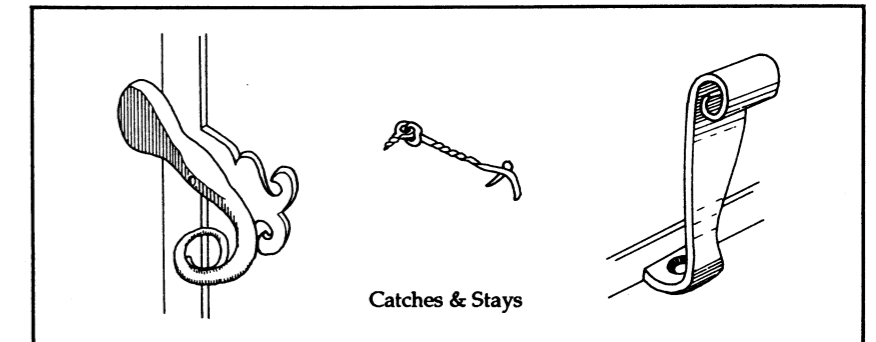
Glazing : original glass, Crown glass, stained glass and rare examples of other early glazing materials are important and if they have to be removed, should be carefully stored and reset. Crown glass can still be found in many old buildings and is much more attractive than modern float glass as the surface reflections are more varied. It is possible to obtain modern glass manufactured by the crown method. Stained glass repair is a specialist technique which requires a specialist contractor. There are methods of sandwiching fragile glass between plain glass or other treatments that can be used. Contact your Local Authority for further information and advice.

Glazing bars: where glazing bars have previously been removed, their replacement should be guided by evidence elsewhere on the building. Eighteenth and nineteenth century glazing bars in Geometric, Gothic or marginal patterns should be retained and can be used as models for replacements.



Georgian Glazing Bar Profiles

Window Furniture : catches, hinges, stays and bolts can be important features, characteristic of certain periods and in the case of an Arts and Crafts building, carefully designed in their own right. These should be retained and if additional security is required, this can usually be achieved without removing the old furniture.



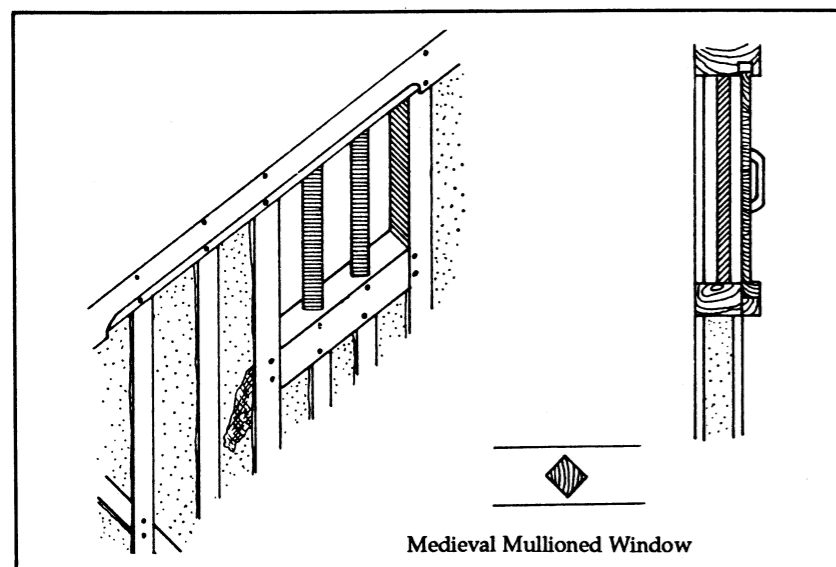
Catches & Stays

Double glazing: it is not always advisable to completely draught-proof an old property as this can lead to condensation problems and damp. A well maintained sash window with shutters can give a good measure of sound and draught proofing and a reduction in heat loss can be achieved by thermal linings to curtains. If some form of double glazing is essential, then secondary glazing is the most acceptable alternative.

This involves installing plain glass inside the house behind the existing window and should work with most window types. Where there are original internal shutters or other surviving features, considerable care will have to be taken in the design and installation of the secondary glazing.

The use of sealed double-glazed units that require the removal of traditional windows is not acceptable and will be resisted. The use of individually sealed double glazing within the sash or casement panes is not normally to be recommended as it is too heavy for the smooth operation of the sash and requires glazing bars of much thicker section. Frequently, a foil strip is also left exposed in each of the units which is unacceptable. The same is also true of foam and bristle strips, which are visually unacceptable.

Maintenance: regular, good quality maintenance is the best method of preserving historic fabric. Regular painting of frames is advisable, preceded by the removal of old paint to ensure a sound base. Putty should be regularly inspected and the bedding of the window in the wall similarly checked. If paintwork is neglected it will blister and peel, allowing water to penetrate and decay to set in.



Medieval Mullioned Window