

**Table A1 Builders Merchants, Moor Lane, Staines (P/005/H)**

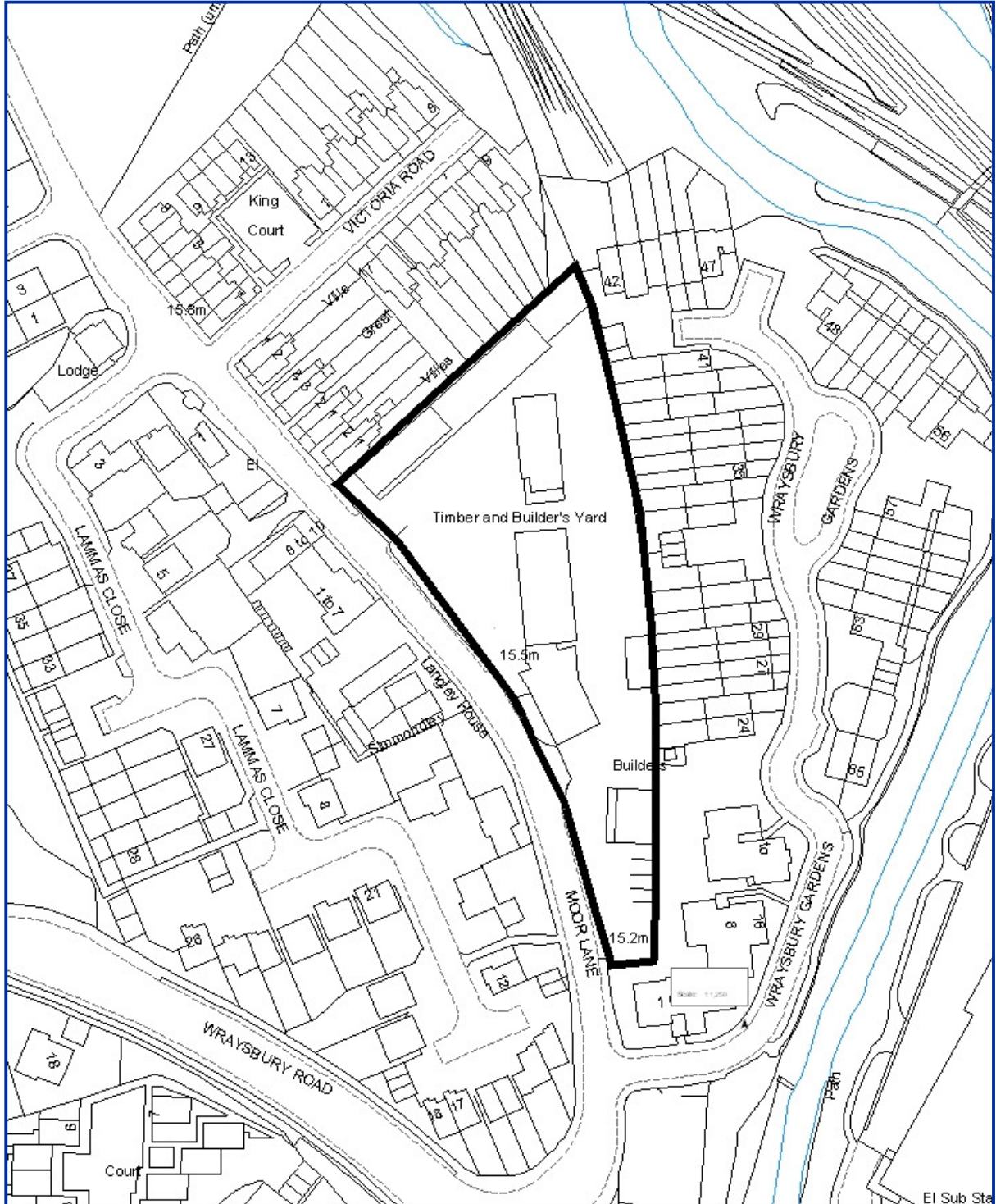
Area (Ha)	Current use	Existing Dwellings	Assumed Dwellings	Net Gain	Density (Dwg/Ha)
0.57	Builders merchant	0	30	30	53

**Notes**

The site is occupied by a builders merchant and timber yard. It forms the undeveloped residue of a Local Plan proposal site for residential and Council policy is therefore to support residential development.

The adjoining site has been developed for a mixture of housing and flats, with flats adjoining Moor Lane The number of units also assumes a mixture of flats and houses and takes account of the proximity of the site to the town centre.

Builders Merchants, Moor Lane, Staines (P/005/H)



**Table A2 Land east of Long Lane, Stanwell**

Area (Ha)	Current use	Existing Dwellings	Assumed Dwellings	Net Gain	Density (Dwg/Ha)
0.85	Residential and commercial	9	77	68	104

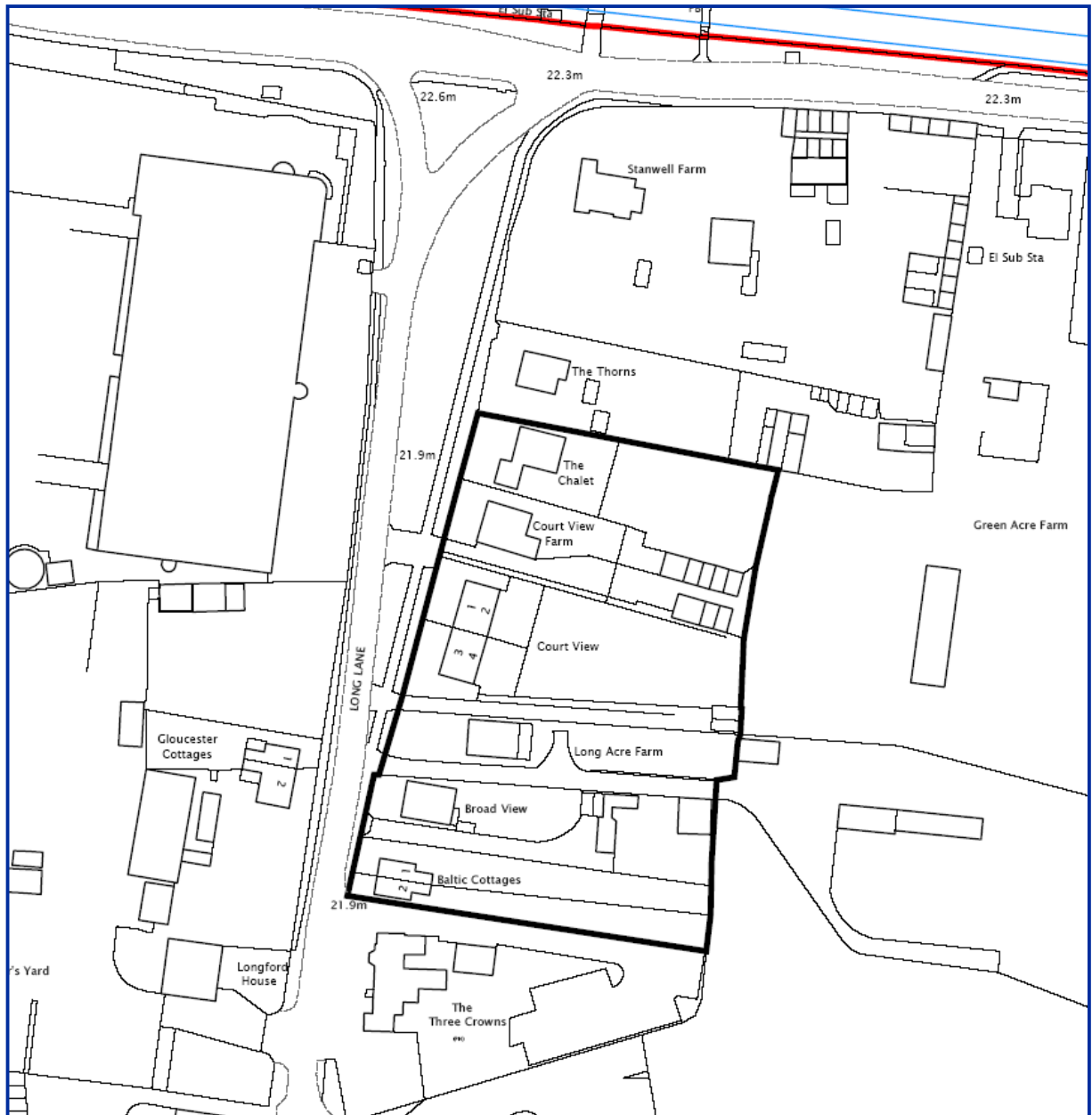
**Notes**

This site consists of a row of houses fronting Long Lane, some of which have commercial uses to the rear. Land to the north and east is Green Belt but the site itself is within the defined urban area. There is a pub to the south, while across Long Lane there is a mixture of residential and commercial.

There are a number of ownerships however, the site was brought together previously as part of a larger scheme for warehousing development. This application was refused as the site was largely in the Green Belt. The remaining site identified here is not constrained by the Green Belt and although the site is close to Heathrow Airport it is outside the area where housing is restricted on noise grounds.

In view of the existing housing on the site and the presence of other housing in the area the site is considered suitable for residential. A planning application has been made for 43 units consisting of the northern part of the site and includes the Chalet, Court View Farm and 1-4 Court View. The density proposed in the planning application is thought to be appropriate and is assumed at a similar rate for the remaining southern part of the site. In view of the planning application it is thought that the estimate in the 2003 study was too conservative and therefore has been increased from the original 35 assumed dwellings.

Land east of Long Lane, Stanwell



**Table A3 Riverside Works, Fordbridge Road, Sunbury (P/026/H)**

Area (Ha)	Current use	Existing Dwellings	Assumed Dwellings	Net Gain	Density (Dwg/Ha)
1.57	Environment Agency Depot	0	50	50	32

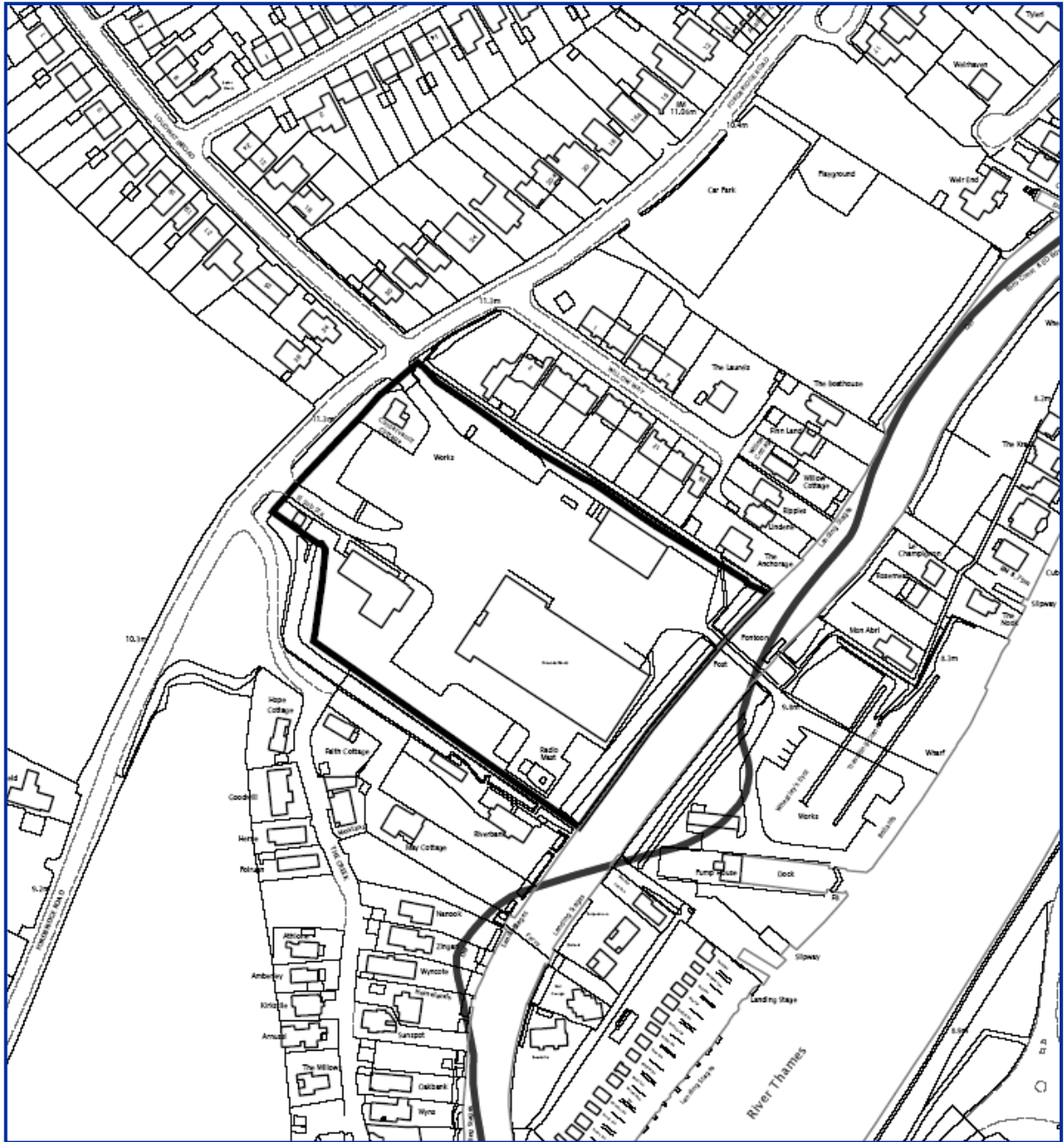
Notes

The Environment Agency is vacating its existing Riverside Works site, which creates an opportunity for redevelopment. Development either side is residential and the site is considered suitable for housing development.

Although adjoining the River Thames the site is on raised ground above the flood plain and a Flood Risk Assessment has shown that residential development is acceptable.

The site lies towards the edge of Sunbury in an area characterised by relatively low density housing. It is not particularly accessible by public transport. An on-site constraint is the need to retain access to the adjoining island of Wheatley's Ait. Consequently development at a density close to the Government's recommended minimum of 30 dwellings per hectare is suggested.

Riverside Works, Fordbridge Road, Sunbury (P/026/H)



**Table A4 Former Celotex Site, Hanworth Road, Sunbury (P/024/M)**

<b>Area (Ha)</b>	<b>Current use</b>	<b>Existing Dwellings</b>	<b>Assumed Dwellings</b>	<b>Net Gain</b>	<b>Density (Dwg/Ha)</b>
0.92	Vacant land	0	96	96	104

**Notes**

This is a former industrial site which was cleared several years ago and has an unimplemented permission for office development.

At the base date for the study a planning application had been submitted for a mixed residential and hotel development. Since the base date this scheme has been granted planning permission and the net gain reflects the permitted scheme.

Former Celotex Site, Hanworth Road, Sunbury (P/024/M)

