

Our Ref: TS/INL/E4445/17820

10th March 2021

Spelthorne Borough Council
Planning Department
C/O
Litchfields Limited

By Email

Dear Sirs

RE: 20/01199/FUL – THE OLD TELEPHONE EXCHANGE, EMSLEIGH ROAD, STAINES SURREY, TW18 4PN

Further to the letter from the Environment Agency, dated 24 February 2021 (ref WA/2020/128452/03-L01), it is noted that the EA require further details to be demonstrated that the flood waters would be able to freely flow into the compensation areas provided by the car park, bin and cycle stores.

It is noted in the EA letter that the Assael Architecture elevation drawings was not clear in relation to the void openings and that no details had been provided. The EA have requested further details to demonstrate that the flood waters can freely flow in and out of the areas that are not shown as “building footprint” and how this can be achieved in line with their guidance.

The EA have provided their guidance relating to Void/Stilt design which require the following:

- Designed to allow the free flow of water up to and including the 1% AEP plus appropriate allowance for climate change flood event;
- Individual opening s should be a minimum of 1m wide
- Openings should extend from ground level to the 1% AEP plus climate change
- There should be 1 opening in every 5m length of wall on all sides
- Voids and stilts should be kept open and maintained as such in perpetuity

Architectural and Civil Engineering
Consultants

Rogers Cory Partnership Limited
The Old School, Old School Road
Hook, Hampshire, RG27 9NJ

Registered in England & Wales No. 6222947
Registered office & business address as above



In response to the above, Assael Architecture have produced additional details as well as highlighting clear extents of these openings on the sides of the buildings and therefore can comment on each of the aforementioned EA requirements as follows:

- The void openings extend up to 15.8mAOD which is higher than 15.753mAOD the 1 in 100 year plus 35% fluvial flood level (1 %AEP plus climate changed)
- Individual openings exceed 1m wide and in most cases are provided at 2.26m wide;
- Openings extent from existing ground level up to 15.8mAOD,
- The spacings between void openings is far less than 5m and in most cases ranges between 1.5-2.5m thus providing more openings along the car parking, bin and cycle stores. Overall, the extent of openings around the perimeter of the building exceeds the minimum requirement request by the EA of 1m per 5m spacing.
- The voids do have vertical bars to comply with Secure by Design requirements but these are spaced at 150mm to ensure that this does not impede flow or risk blockage.
- The cycle stores and bins stores all have a mesh wall between the internal interface with the car park, this allows between the car parking area and these store areas and as these mesh walls extent along the full length and interface this reduces the risk of blockage.

We trust this addresses the queries; please do not hesitate to contact the undersigned should you require any further supporting information

Yours sincerely

TERRY SEYMOUR
ENGINEERING DIRECTOR

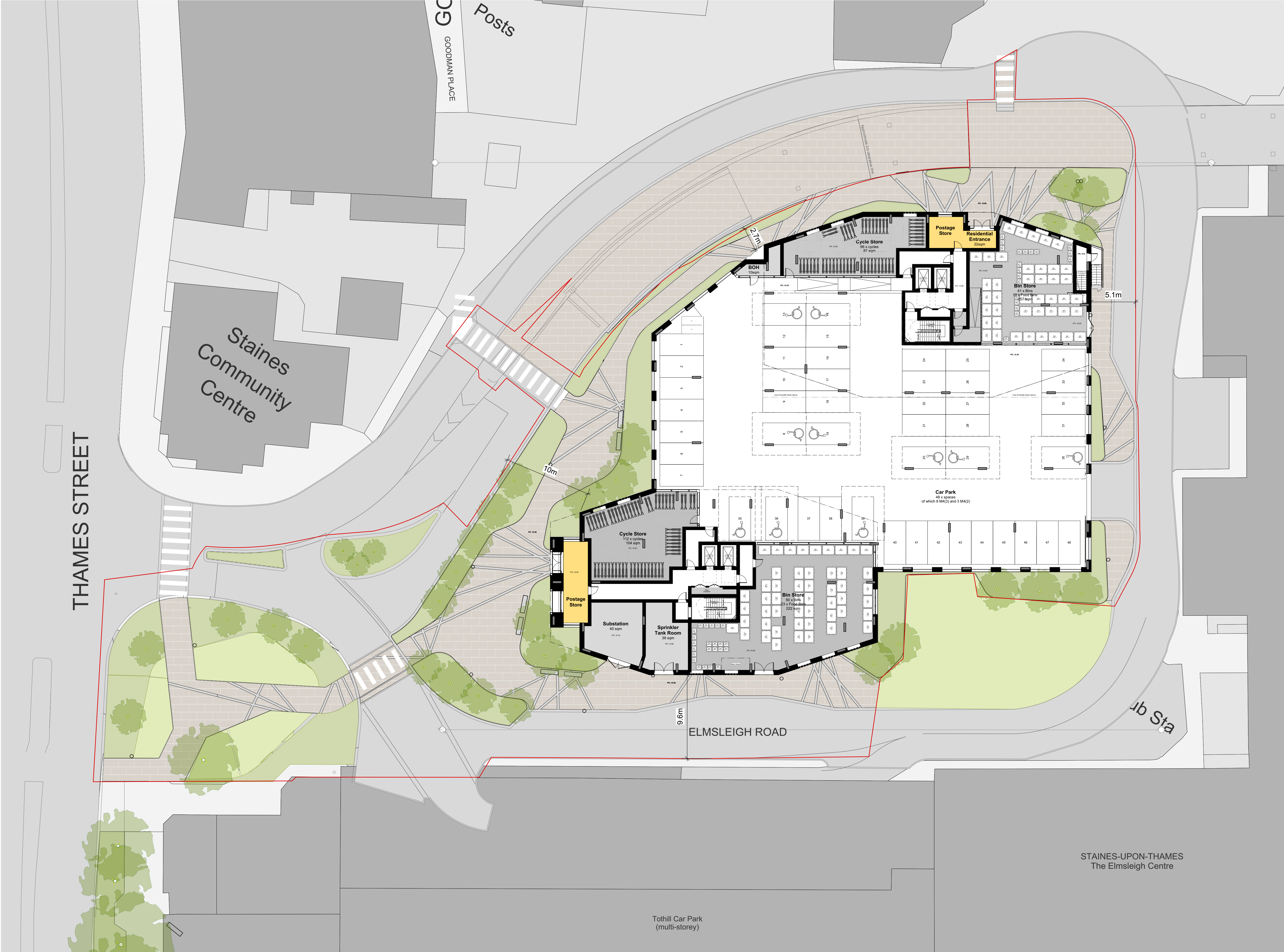
ENCL.
DRAWINGS
ERS-ASA-ALL-00-DR-AA-0200-R13
ERS-ASA-ALL-00-DR-AA-0400-R4
ERS-ASA-ALL-00-DR-AA-0401-R3
ERS-ASA-ALL-00-DR-AA-0402-R3
ERS-ASA-ALL-00-DR-AA-0403-R3
ERS-ASA-SK-210301MR01-R01-R2

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Drawing revision prefix (not applied to sketches):
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Drawing notes

Electronic file reference
AA A3445 200 Plans

Status	R:	Revision	Date	DRN	CHK
13	GF openings updated to EA comments		08/03/2021	MR	JL

Key

- Private - 1 Bed
- Private - 2 Bed
- Affordable Rent - 1 Bed
- Affordable Rent - 2 Bed
- Shared Ownership - 1 Bed
- Shared Ownership - 2 Bed
- Residential Entrances
- Utility / Plant / Bins / Bikes
- Application Boundary

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Client approval	<input type="checkbox"/>
Construction	<input type="checkbox"/>
Final Issue	<input type="checkbox"/>

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Client

Inland Homes

Project title

A3445 - Elmsleigh Road
Staines-Upon-Thames

Drawing title

Ground Floor
Proposed

Scale @ A1 size

Date

1:200

Jan '20

Drawing N°

ERS-ASA-ALL-00-DR-A-0200

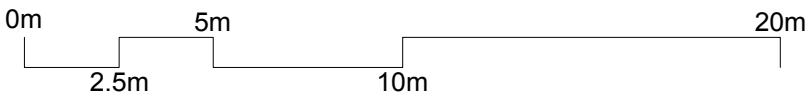
Revision

R13

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Drawing notes

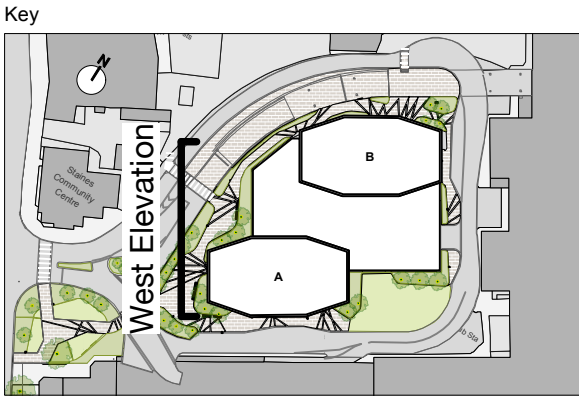


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Comment	<input type="checkbox"/>
Client approval	<input type="checkbox"/>
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Final Issue	<input type="checkbox"/>

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Client

Inland Homes

Project title

A3445 - Elmsleigh Road
Staines-upon-Thames

Drawing title

West Elevation
Proposed

Scale @ A1 size

1:200

Date

Jul '20

Drawing N°

ERS-ASA-ALL-00-DR-A-0400

Revision

R4

1 West Elevation
Scale: 1:200

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2

North Elevation
Scale: 1:200

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Drawing notes

Electronic file reference

AA A3445 400 Elevations

Status R:	Revision	Date	DRN	CHK
3	Issued for Planning Submission	24/09/2020	MR	JL
4	Openings updated to EA comments	09/03/2021	MR	JL

Purpose of information

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Planning

Information

Comment

Client approval

Construction

Final Issue

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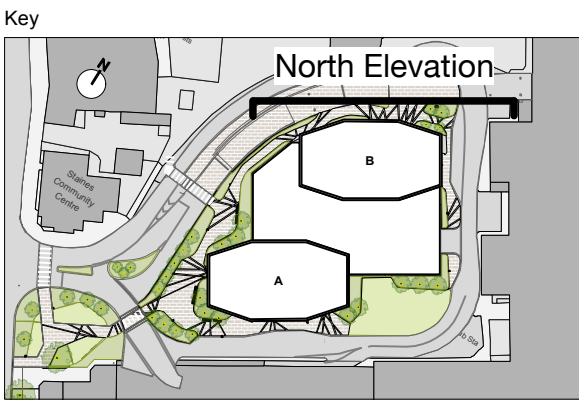
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Client

Inland Homes

Project title

A3445 - Elmsleigh Road
Staines-upon-Thames

Drawing title

North Elevations
Proposed

Scale @ A1 size

1:200

Drawing N°

ERS-ASA-ALL-00-DR-A-0401

Revision

R4

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1

East Elevation
Scale: 1:200

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Drawing notes

Electronic file reference

AA A3445 400 Elevations

Status	R:	Revision	Date	DRN	CHK
3		Issued for Planning Submission	24/09/2020	MR	JL
4		Openings updated to EA comments	09/03/2021	MR	JL

Purpose of information

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Planning

Information

Comment

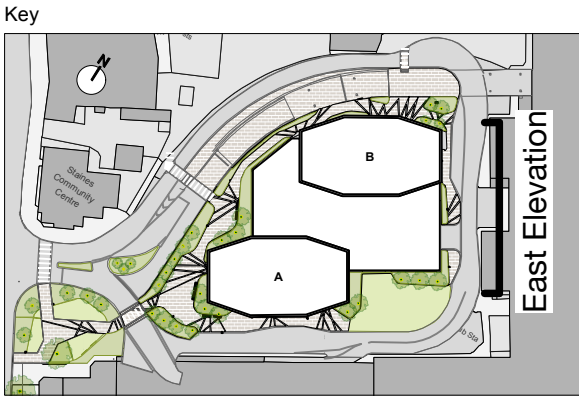
Client approval

Construction

Final Issue

☒☐☐☐☐☐

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Client

Inland Homes

Project title

A3445 - Elmsleigh Road
Staines-upon-Thames

Drawing title

East Elevation
Proposed

Scale @ A1 size

1:200

Date

Jul '20

Drawing N°

ERS-ASA-ALL-00-DR-A-0402

Revision

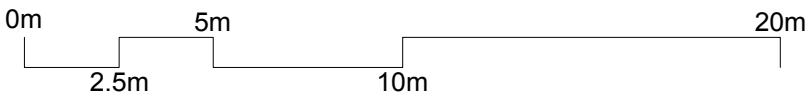
R4

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Drawing notes



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AA A3445 400 Elevations

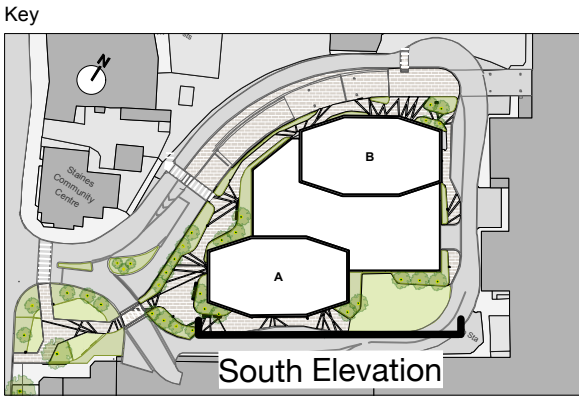
Status	R:	Revision	Date	DRN	CHK
3	Issued for Planning Submission	24/09/2020	MR	JL	
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Client

Inland Homes

Project title

A3445 - Elmsleigh Road
Staines-upon-Thames

Drawing title

South Elevation
Proposed

Scale @ A1 size

1:200

Date

Jul '20

Drawing N°

ERS-ASA-ALL-00-DR-A-0403

Revision

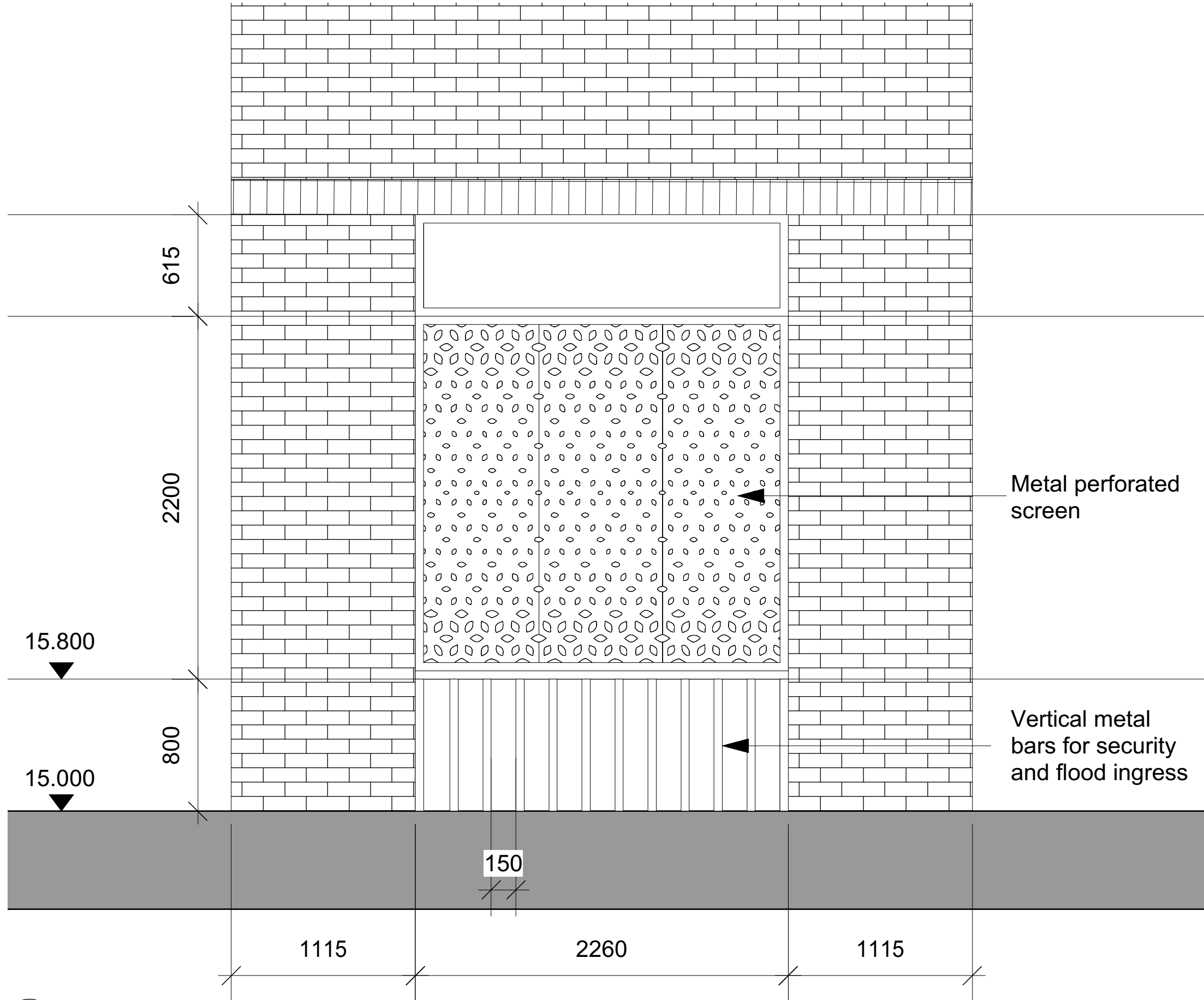
R4

1 South Elevation
Scale: 1:200

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1 Car Park Bay Elevation
Scale: 1:25



2 Precedent of Internal Mesh Wall



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Drawing notes

Electronic file reference
AA A3445 200 Plans

Status R:	Revision	Date	DRN	CHK
2	Issued for EA comments	09/03/2021	MR	JL

Key

- Private - 1 Bed
- Private - 2 Bed
- Affordable Rent - 1 Bed
- Affordable Rent - 2 Bed
- Shared Ownership - 1 Bed
- Shared Ownership - 2 Bed
- Residential Entrances
- Utility / Plant / Bins / Bikes

Application Boundary

Purpose of information

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Client

Inland Homes

Project title

A3445 - Elmsleigh Road
Staines-Upon-Thames

Drawing title

Car Park Openings
Bay Study

Scale @ A1 size

Date

1:200

Mar '21

Drawing N°

ERS-A-SK-210301MR01-R01

Revision

R2

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