

Our Ref: TS/INL/E4445/17792Rev1

4th February 2021

Spelthorne Borough Council
Planning Department
C/O
Litchfields Limited

By Email

Dear Sirs

RE: 20/01199/FUL – THE OLD TELEPHONE EXCHANGE, EMSLEIGH ROAD, STAINES SURREY, TW18 4PN

We note that the Environment Agency have maintained their objection per their letter dated 19 January 2021 (WA/2020/128452/02-L01), on the basis that the RCP letter dated 3rd December 2020 (TS/INL/E4445/17768) does not address their concerns raised in their initial response dated the 25th November. The EA have stated that the FRA and current response from RCP has not provided clear information on what the existing and proposed building footprints are nor clear demonstration that there is no loss in floodplain storage on a level for level compensation.

Our response to this objection is that both the FRA (Appendix E) as well as the response (RCP letter, 3/12/2020) provides clear information pertaining to what the proposed and existing footprints are as well as a level for level compensation assessment which demonstrates a net betterment (i.e. increased availability of flood plain storage as a result of the redevelopment of this site).

The EA's query as to whether it is appropriate that the existing Telephone Exchange building can taken in account can be addressed as we can advise that as this building was only recently demolished that it has been taken into consideration as this would not (as similar to other standing buildings in the vicinity) have been providing flood plain storage. The existing footprints of both buildings equate to 1,244sqm (715+529) for the Masonic Hall and Old Telephone Exchange respectively. If only the Masonic Hall is taken into account then the existing footprint would be 715sqm. The proposed development footprints equate to 605sqm which is still less than the current existing footprints.

Architectural and Civil Engineering
Consultants

Rogers Cory Partnership Limited
The Old School, Old School Road
Hook, Hampshire, RG27 9NJ

Registered in England & Wales No. 6222947
Registered office & business address as above



For ease of reference, we have appended the previous flood mitigation drawing (contained in Appendix E of the FRA and our letter 3rd December 2020) with annotations to provide the clarification on the matters requested by the EA.

In summary the proposed redevelopment of the site takes into account of the existing building footprints of the Masonic Hall and Old Telephone Exchange in terms of the level for level flood compensation, up to and including the 1 in 100 year plus 35% and the proposed scheme provide more flood compensation storage to the previous development at this site thus a betterment in terms of flood storage. Flood compensation storage is provided within the undercroft car park, cycle stores and bin store as indicated on the drawing INL-E4445-007 which provides a tabled summary of the level for level compensation volumes offered by the new development. For ease of reference this table is replicated below:

Depth Interval	Existing site volumes	Proposed Volumes	Site	Difference
Depth band 0.00-0.10	750.6	817.6		67
Depth band 0.10-0.20	712.6	780		67.4
Depth band 0.20-0.30	675.2	742.9		67.7
Depth band 0.30-0.40	622.2	691.6		69.4
Depth band 0.40-0.50	534.6	616.8		82.2
Depth band 0.50-0.60	428.1	520.8		92.7
Depth band 0.60-0.70	320.9	403.2		82.3
Depth band 0.70-0.80	239.2	302.9		63.7
Depth band 0.80-0.90	159.5	223.2		63.7
Depth band 0.90-1.00	89.5	139.5		50
Depth band 1.00-	27.4	86.4		59
		total		765.1

It should be noted that at each 100mm depth interval that the development proposal provides a large volume of flood storage than the existing previous development. To provide some background this building was demolished in February 2017 as notice was served on the owners on the 22nd April 2015 under The Prevention of Damage by Pests Act 1949 to treat the land and building for the presence of rats.

A further exercise has been carried out to assess the existing flood storage of the site without taking benefit of the previous old Telephone Exchange building which would have displaced flood volume. The results of this exercise is presented on drawing INL-E4445-009. Again for ease of reference the table summary of the comparison of the level for level, volume for volume summary is provided:

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Depth Interval	Existing site volumes	Proposed Volumes	Site	Difference
Depth band 0.00-0.10	808	817.6		9.6
Depth band 0.10-0.20	768.1	780		11.9
Depth band 0.20-0.30	731.4	742.9		11.5
Depth band 0.30-0.40	677.8	691.6		13.8
Depth band 0.40-0.50	575.5	616.8		41.3
Depth band 0.50-0.60	454.3	520.8		66.5
Depth band 0.60-0.70	323.5	403.2		79.7
Depth band 0.70-0.80	237.7	302.9		65.2
Depth band 0.80-0.90	158.7	223.2		64.5
Depth band 0.90-1.00	89.3	139.5		50.2
Depth band 1.00-	27.4	86.4		59
				<u>473.2</u>

Again, even without taking the benefit of the Old Telephone Exchange, the development proposal still provides a net reduction at each 100mm depth increment and overall an additional 473.2 cubic metres of flood storage compared to the current site, providing a betterment.

We trust this addresses the queries; please do not hesitate to contact the undersigned should you require any further supporting information

Yours sincerely

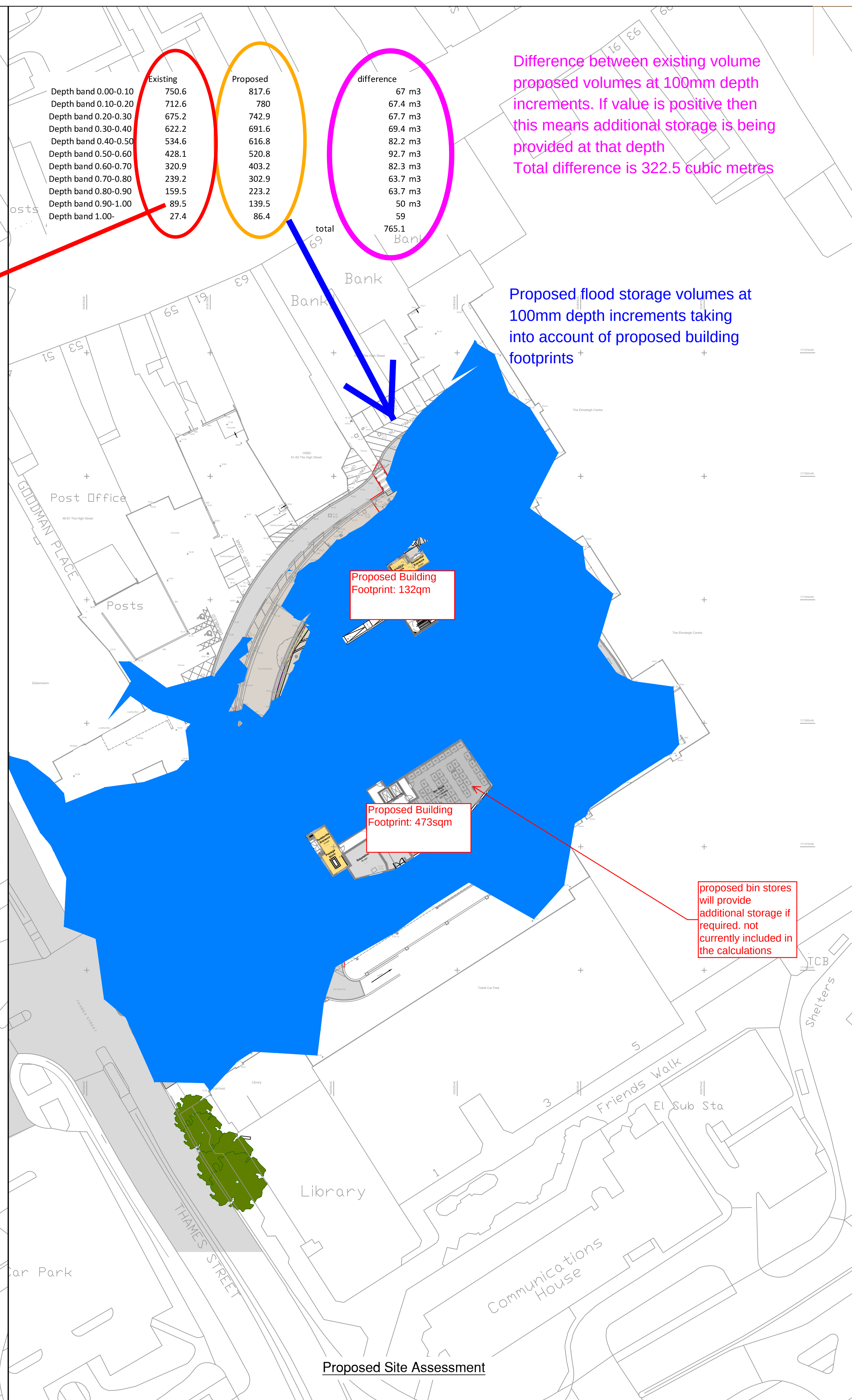
TERRY SEYMOUR
ENGINEERING DIRECTOR

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NOTES

1. All dimensions are in metres unless stated otherwise.

2. Do not scale from this drawing. Only written dimensions are to be used.

3. Site layout based on Assael Architecture ground floor plan (ERS-ASS-ALL-00-DR-A-0200-P12)

4. Existing ground levels based on Topographic Survey Drawing by Alan Rhodes Associates 3499-1, dated 17/3/2014

KEY

Site Boundary

1 in 100 year plus 35% fluvial flood extent (15.753mAOD)

0m10m20m40m60m80m100m

SCALE BAR 1:500 at A1

B	02.02.21	Updated assessment to include cycle stores and bin store	TRS	TRS	TRS
A	24.09.20	Planning Issue	TRS	TRS	TRS
Rev.	Date	Details	By	Chkd	Appd

Client:-



Inland
homes

Site:-

Elmsleigh Road,
Staines

Drawing Title:-

Flood Level
Compensation
Assessment

Date: September 2020

Scales: 1:500 at A1

Drawn: TRS

Checked: TRS

Approved: TRS

Drawing No.

INL/E4445/007B

FOR INFORMATION ONLY



RCP

ARCHITECTURE & CIVIL ENGINEERING

Rogers Cory Partnership

Architectural and Civil Consultants

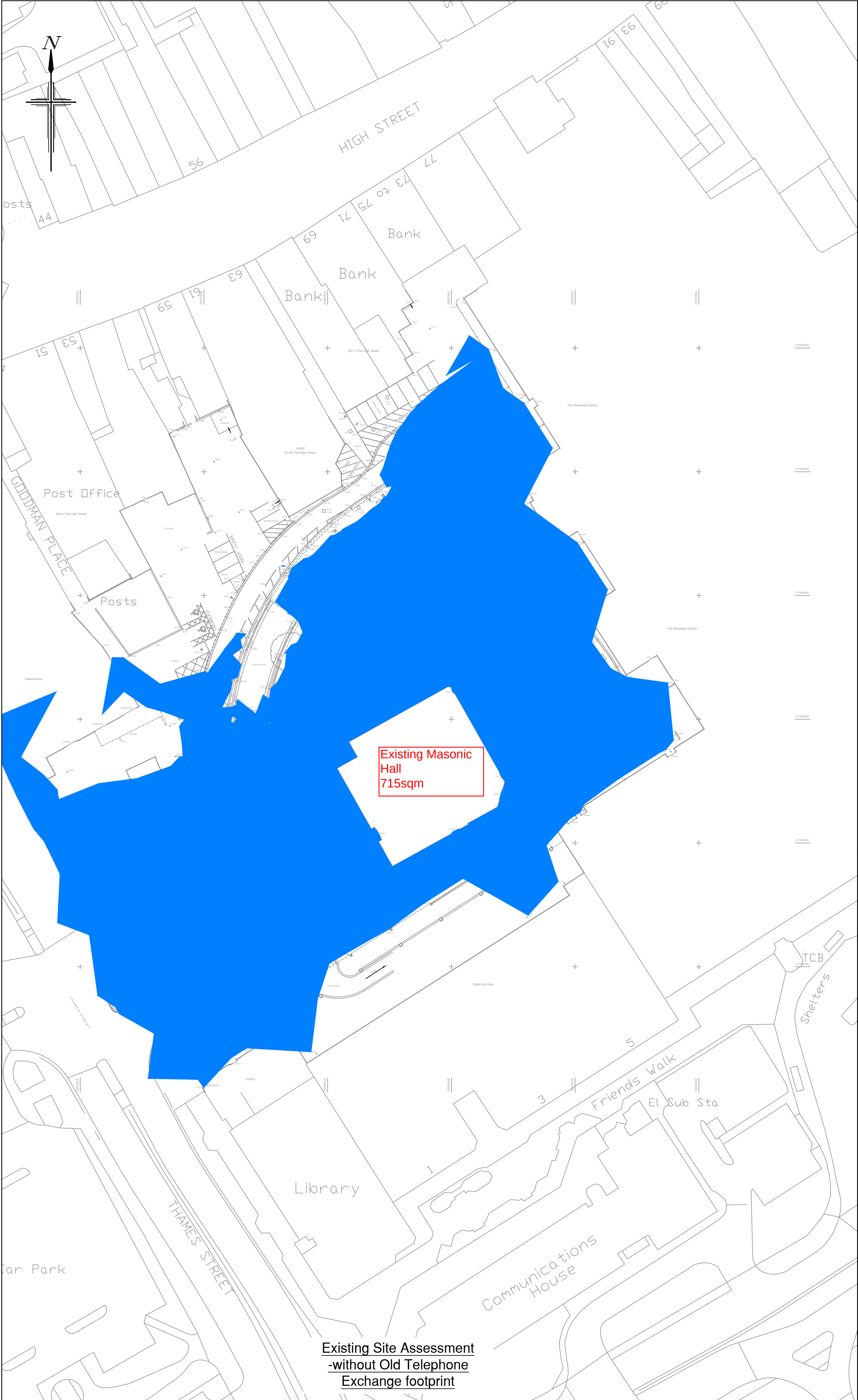
The Old School · Old School Road

Hook Hampshire RG27 9NJ

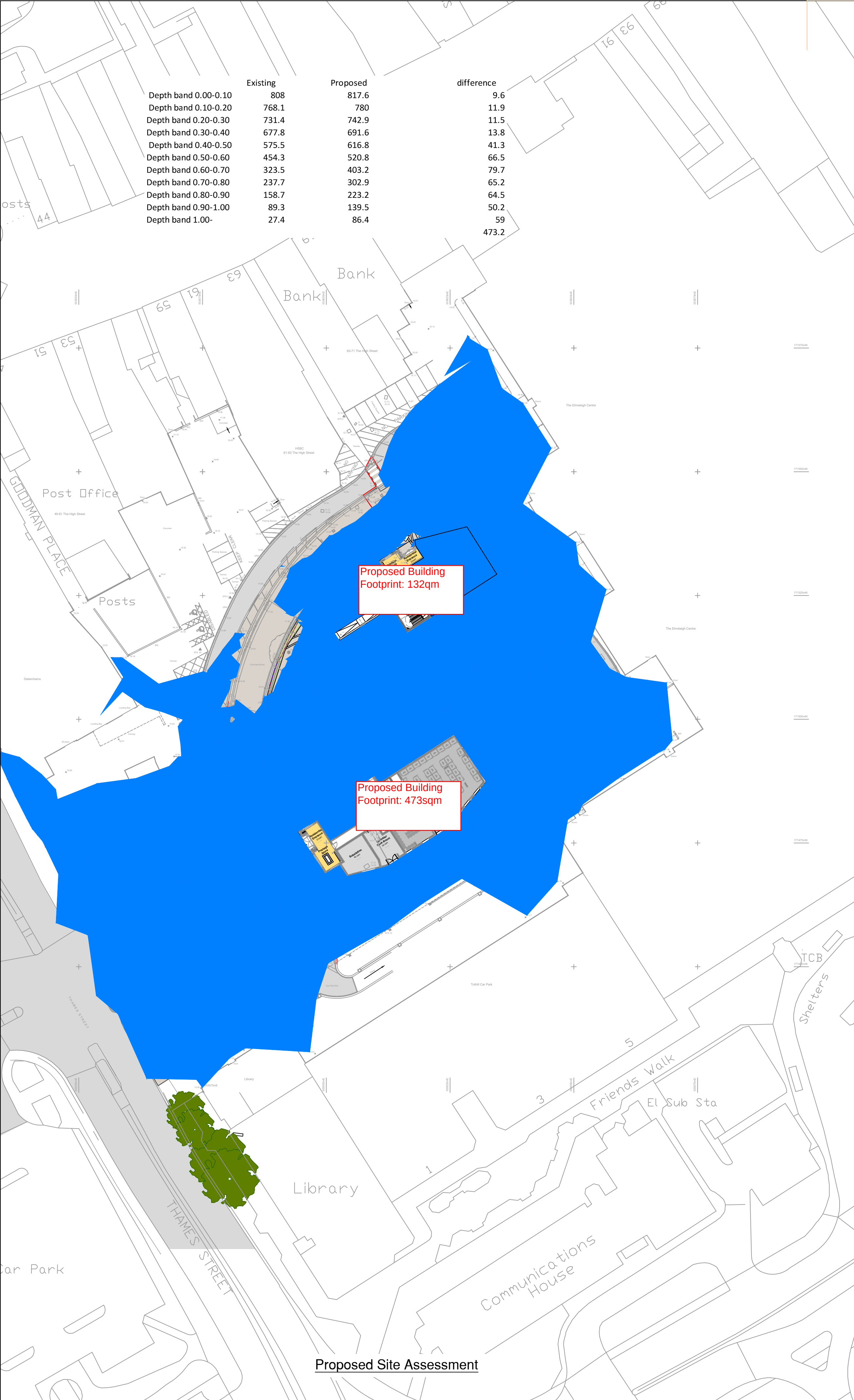
T: 01256 769269

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Existing Site Assessment
-without Old Telephone
Exchange footprint



Proposed Site Assessment

	Existing	Proposed	difference
Depth band 0.00-0.10	808	817.6	9.6
Depth band 0.10-0.20	768.1	780	11.9
Depth band 0.20-0.30	731.4	742.9	11.5
Depth band 0.30-0.40	677.8	691.6	13.8
Depth band 0.40-0.50	575.5	616.8	41.3
Depth band 0.50-0.60	454.3	520.8	66.5
Depth band 0.60-0.70	323.5	403.2	79.7
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Depth band 1.00-	27.4	86.4	59
			473.2

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3. Site layout based on Assael Architecture ground floor plan (ERS-ASS-ALL-00-DR-A-0200-P12)
4. Existing ground levels based on Topographic Survey Drawing by Alan Rhodes Associates 3499-1, dated 17/3/2014

KEY

- Site Boundary
- 1 in 100 year plus 35% fluvial flood extent (15.753m AOD)

SCALE BAR 1:500 at A1

Rev.	Date	Details	By	Chkd	Appd
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Client:

Site:-
Elmsleigh Road,
Staines

Drawing Title:-
Flood Level
Compensation
Comparison

Date:	February 2021	Scales:	1:500 at A1
Drawn:	TRS	Checked:	TRS
		Approved:	TRS

Drawing No. INL/E4445/009

FOR INFORMATION ONLY

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